

# **El Sobrante Municipal Advisory Council**

## **MEETING AGENDA**

**Wednesday, November 10, 2021, 7:00 PM**

### **REMOTE MEETING IN EFFECT**

**TO SLOW THE SPREAD OF COVID-19, THE HEALTH OFFICER'S SHELTER ORDER PREVENTS PUBLIC GATHERINGS. IN LIEU OF A PUBLIC GATHERING, THE EL SOBRANTE MUNICIPAL ADVISORY COUNCIL MEETING WILL BE ACCESSIBLE VIA ZOOM TO ALL MEMBERS OF THE PUBLIC AS PERMITTED BY THE GOVERNOR'S EXECUTIVE ORDER N-29-20**

#### **HOW TO VIEW THE MEETING VIA ZOOM:**

Link: <https://cccouny-us.zoom.us/j/83832257088>

#### **HOW TO PROVIDE PUBLIC COMMENT:**

Persons who wish to address the MAC during Public Comment or with respect to an item on the agenda may join the meeting (use link above) or call in as follows:

**Zoom meeting Dial-In-Number:** 888-278-0254

**Conference code:** 259959

**Meeting ID:** 838 3225 7088

**All public comments will be limited to 2 minutes per speaker.**

For assistance with remote access contact James Lyons at:

[james.lyons@bos.cccouny.us](mailto:james.lyons@bos.cccouny.us) or 510-942-2222

**Chair:** Thomas Lang **Vice Chair:** Tom Owens

**Members:** Jim Hermann, Dr. Melinda V. McLain, Joe Sarapochillo, Mikki Norris, George Cleveland

**Alternates:** Shirley Rosenthal-Winston, Emilie Whelan

Electronic copies of the agenda are available for download at:

<https://www.contracosta.ca.gov/AgendaCenter/El-Sobrante-Municipal-Advisory-Council-50/?#02132019-1994>

#### **Call to Order/Welcome/Roll Call**

**Treasurer's Report** – James Lyons, District Coordinator, Office of Supervisor John Gioia

## **Presentations**

- P.1** Presentation by Sheriff's Office Bay Station Commander, Lt. Joseph Buford
- P.2** Presentation by Contra Costa County Fire Protection Battalion Chief, Charles Thomas
- P.3** Presentation by California Highway Patrol Officer Tim Leviste
- P.4** Presentation by Jeff Valeros, Associate Civil Engineer Contra Costa County Public Works, Update on the Contra Costa County Active Transportation Plan
- P.5** Presentation by James Lyons, District Coordinator Supervisor Gioia's Office

## **Discussion Items**

**DI.** Development plan applications, variance reports, building modification requests, appeals etc., received in the previous month from the Contra Costa County Conservation and Development Department and Notices of Public Hearings.

**DI. 1** CDDP21-03032. The applicant requests approval of a Development Plan with Design Review (xref: CDSL21-00065) for the construction of a new, detached, 595-square-foot garage on a substandard lot. Project Location: (Address: 23 SETTING SUN PL, EL SOBRANTE, CA 94803)

**Public Comment** on items not on the agenda (2 minutes per speaker limit)

## **Information Items**

**10.1** Information Reports by MAC members

## **Subcommittee Reports**

**11.1** The next Illegal Dumping Subcommittee meeting will be on Monday, December 13<sup>th</sup> at 7:00pm.

## **Agenda Items / Speakers for Upcoming ESMAC Meetings**

## **Adjournment**



## AGENCY COMMENT REQUEST

Date \_\_\_\_\_

We request your comments regarding the attached application currently under review.

**DISTRIBUTION**

**INTERNAL**

☐ Building Inspection      ☐ Grading Inspection  
☐ Advance Planning      ☐ Housing Programs  
☐ Trans. Planning      ☐ Telecom Planner  
☐ ALUC Staff      ☐ HCP/NCCP Staff  
☐ APC PW Staff      ☐ County Geologist

**HEALTH SERVICES DEPARTMENT**

☐ Environmental Health    ☐ Hazardous Materials

**PUBLIC WORKS DEPARTMENT**

☐ Engineering Services (1 Full-size + 3 email Contacts)  
☐ Traffic  
☐ Flood Control (Full-size)    ☐ Special Districts

**LOCAL**

☐ Fire District \_\_\_\_\_  
     ☐ San Ramon Valley – (email) [rwendel@srvfire.ca.gov](mailto:rwendel@srvfire.ca.gov)  
     ☐ Consolidated – (email) [fire@cccfdp.org](mailto:fire@cccfdp.org)  
     ☐ East CCC – (email) [brodriguez@cccfdp.org](mailto:brodriguez@cccfdp.org)  
☐ Sanitary District \_\_\_\_\_  
☐ Water District \_\_\_\_\_  
☐ City of \_\_\_\_\_  
☐ School District(s) \_\_\_\_\_  
☐ LAFCO  
☐ Reclamation District # \_\_\_\_\_  
☐ East Bay Regional Park District  
☐ Diablo/Discovery Bay/Crockett CSD  
☐ MAC/TAC \_\_\_\_\_  
☐ Improvement/Community Association  
☐ CC Mosquito & Vector Control Dist (email)

**OTHERS/NON-LOCAL**

☐ CHRIS (email only: [nwic@sonoma.edu](mailto:nwic@sonoma.edu))  
☐ CA Fish and Wildlife, Region 3 – Bay Delta  
☐ Native American Tribes

**ADDITIONAL RECIPIENTS**

\_\_\_\_\_

\_\_\_\_\_

*Please submit your comments to:*

Project Planner \_\_\_\_\_

Phone # \_\_\_\_\_

E-mail \_\_\_\_\_

County File # \_\_\_\_\_

Prior to \_\_\_\_\_

\* \* \* \* \*

We have found the following special programs apply to this application:

☐ Active Fault Zone (Alquist-Priolo)  
☐ Flood Hazard Area, Panel # \_\_\_\_\_  
☐ 60-dBA Noise Control  
☐ CA EPA Hazardous Waste Site  
     High or Very High FHSZ

\* \* \* \* \*

**AGENCIES:** Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: ☐ None    ☐ Below    ☐ Attached

Print Name \_\_\_\_\_

Signature \_\_\_\_\_ DATE \_\_\_\_\_

Agency phone # \_\_\_\_\_



# CONTRA COSTA

## CONSERVATION & DEVELOPMENT

### Planning Application Summary

**County File Number: CDDP21-03032**

**File Date: 10/13/2021**

**Applicant:**

Chris Fellows CHRIS FELLOWS  
1081 Clearlake dr  
Oakley, CA 94561

constructioncarecf2@gmail.com  
(925) 727-8590

**Property Owner:**

GEOFFREY C & JE TITUS  
23 SETTING SUN PL  
EL SOBRANTE, CA 948032119

titusgeoff@gmail.com  
(510) 685-5918

**Project Description:**

The applicant requests approval of a Development Plan with Design Review (xref: CDSL21-00065) for the construction of a new, detached, 595-square-foot garage on a substandard lot.

**Project Location: (Address: 23 SETTING SUN PL, EL SOBRANTE, CA 948032119), (APN: 430060013)**

**Additional APNs:**

**General Plan Designation(s):** SL

**Zoning District(s):** R-40

**Flood Hazard Areas:** X

**AP Fault Zone:**

**60-dBA Noise Control:**

**MAC/TAC:**

**Sphere of Influence:** Richmond

**Fire District:** CONSOLIDATED FIRE

**Sanitary District:** WEST CO WASTEWATER

**Housing Inventory Site:**

**Fees:**

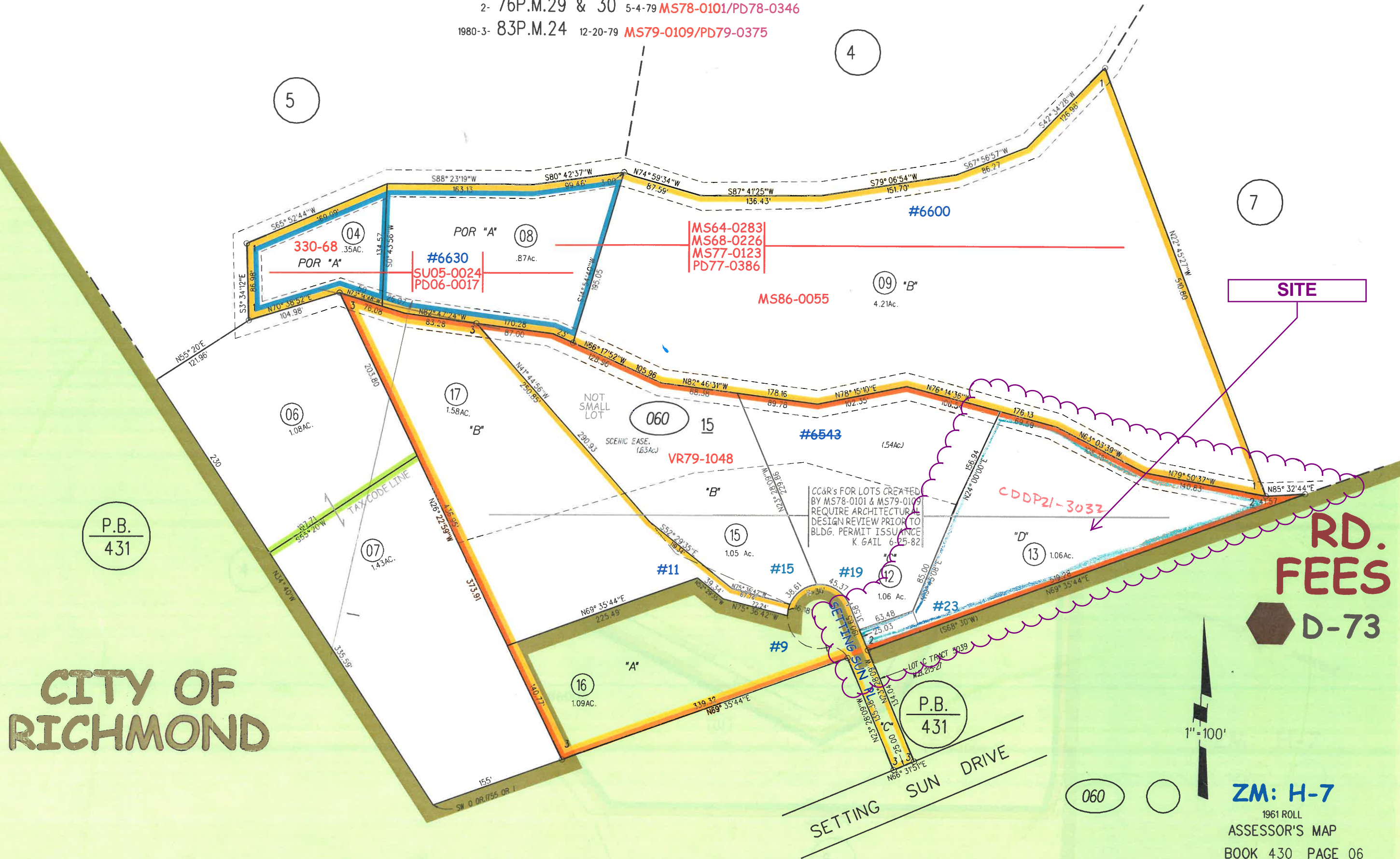
| Fee Item      | Description                        | Account Code                          | Total Fee      | Paid           |
|---------------|------------------------------------|---------------------------------------|----------------|----------------|
| 052B          | Notification Fee (\$30)            | 002606-9660-REV-000-5B052B            | 30.00          | 30.00          |
| HSDR          | Environmental Health Fee (\$57)    | 002606-9660-REV-000-5BHSDR <br>\$5.00 | 57.00          | 57.00          |
| SLS036AH      | Undersized Lot Review with Hearing | 002606-9660-REV-000-5B036H            | 3000.00        | 3000.00        |
| <b>Total:</b> |                                    |                                       | <b>3087.00</b> | <b>3087.00</b> |



RANCHO EL SOBRANTE

- 1- 59P.M.35 & 36 11-9-77 MS68-0226  
2- 76P.M.29 & 30 5-4-79 MS78-0101/PD78-0346  
1980-3- 83P.M.24 12-20-79 MS79-0109/PD79-0375

TAX CODE AREA **CT.3601.00**

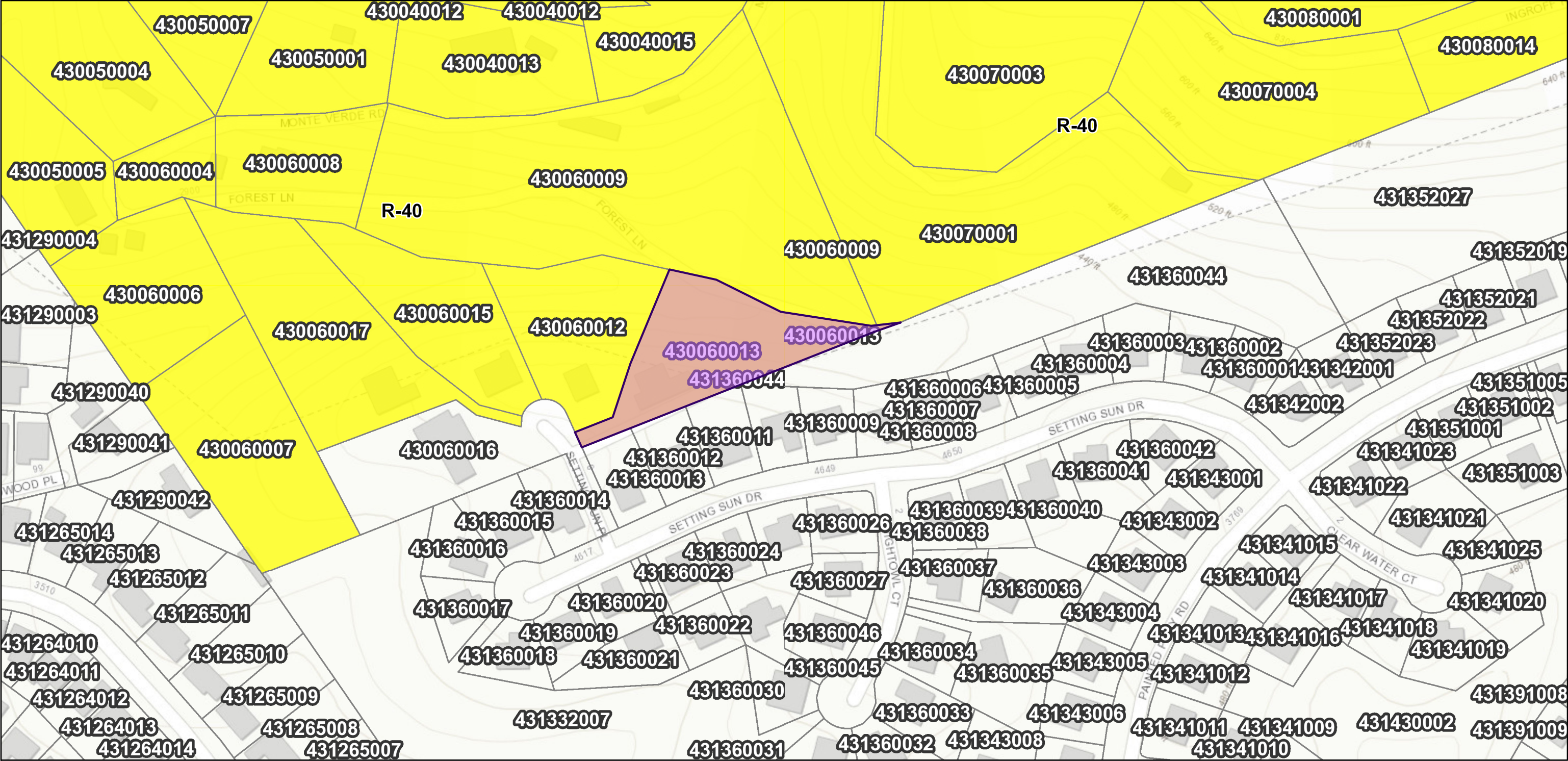




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Zoning: R-40



October 13, 2021

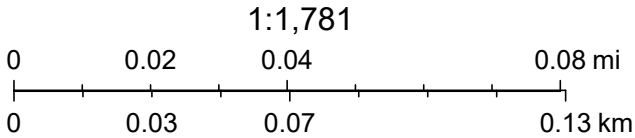
Zoning Districts

- R-6 (Single Family Residential)
- R-6, -FH -UE (Flood Hazard and Animal Exclusion)
- R-6 -SD-1 (Slope Density Hillside Development)
- R-6 -TOV -K (Tree Obstruction and Kensington)
- R-6, -UE (Urban Farm Animal Exclusion)
- R-6 -X (Railroad Corridor Combining District)

- R-7 (Single Family Residential)
- R-7 -X (Railroad Corridor Combining District)
- R-10 (Single Family Residential)
- R-10, -UE (Urban Farm Animal Exclusion)
- R-12 (Single Family Residential)
- R-15 (Single Family Residential)
- R-20 (Single Family Residential)

- R-20, -UE (Urban Farm Animal Exclusion)
- R-40 (Single Family Residential)
- R-40, -FH -UE (Flood Hazard and Animal Exclusion)
- R-40, -UE (Urban Farm Animal Exclusion)
- R-65 (Single Family Residential)
- R-100 (Single Family Residential)
- D-1 (Two Family Residential)

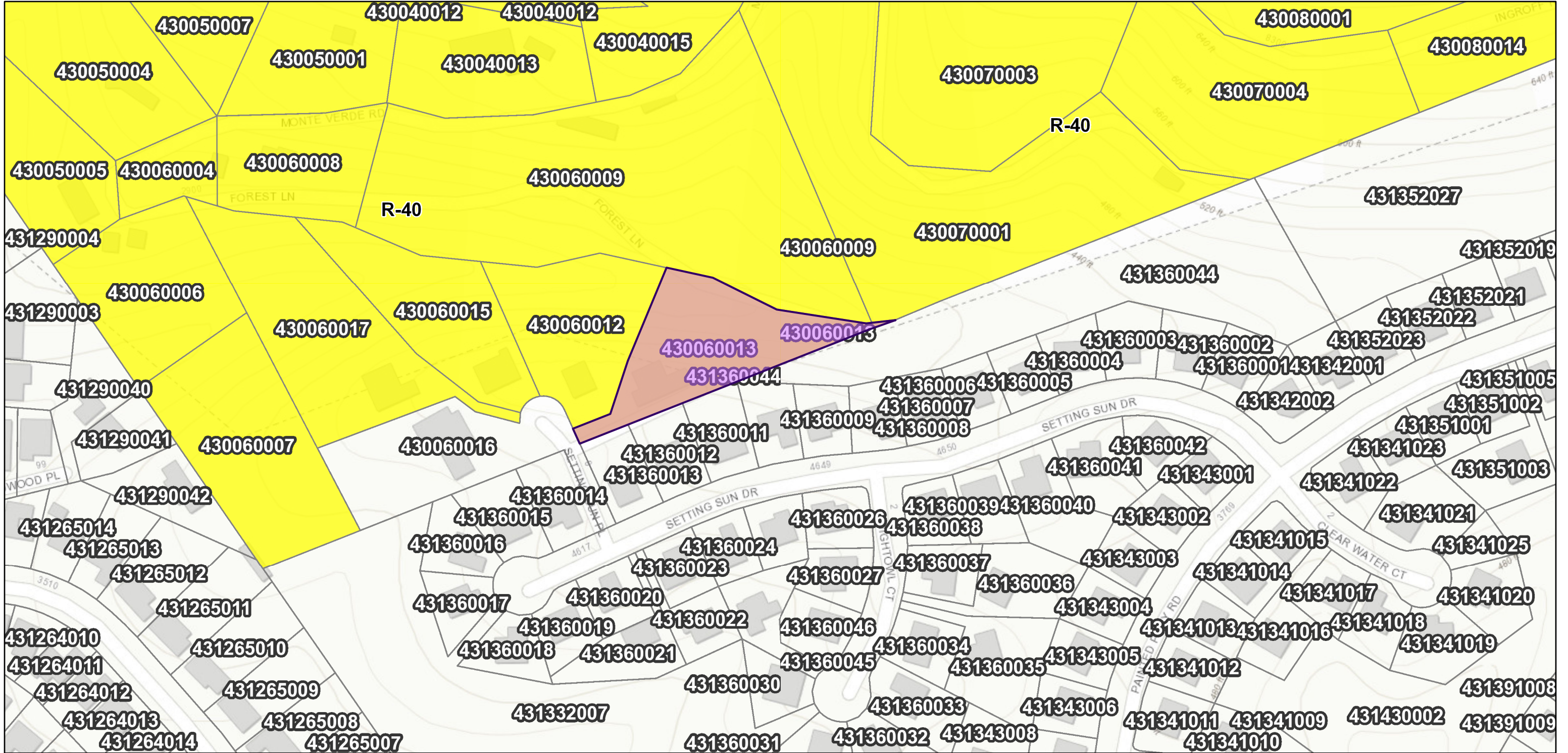
- D-1 -T (Transitional Combining District)
- D-1, -UE (Urban Farm Animal Exclusion)
- M-12 (Multiple Family Residential)
- M-12 -FH (Flood Hazard Combining District)
- M-17 (Multiple Family Residential)
- M-29 (Multiple Family Residential)
- F-R (Forestry Recreational)



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community































## Zoning: R-40

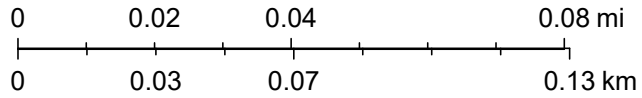


October 13, 2021

## Zoning Districts

- |   |   |   |   |   |   |   |   |  |
|---|---|---|---|---|---|---|---|--|
|  |  | R-6 (Single Family Residential)   |  | R-7 (Single Family Residential)   |  | R-20, -UE (Urban Farm Animal Exclusion)   |  | D-1 -T (Transitional Combining District) |
|  | R-6, -FH -UE (Flood Hazard and Animal Exclusion)                                    |  | R-7 -X (Railroad Corridor Combining District)                                       |  | R-40 (Single Family Residential)  |  | D-1, -UE (Urban Farm Animal Exclusion)  |  |
|  | R-6 -SD-1 (Slope Density Hillside Development)                                      |  | R-10 (Single Family Residential)  |  | R-40, -FH -UE (Flood Hazard and Animal Exclusion)                                     |  | M-12 (Multiple Family Residential)  |  |
|  | R-6 -TOV -K (Tree Obstruction and Kensington)                                       |  | R-10, -UE (Urban Farm Animal Exclusion)   |  | R-40, -UE (Urban Farm Animal Exclusion)   |  | M-12 -FH (Flood Hazard Combining District)  |  |
|  | R-6, -UE (Urban Farm Animal Exclusion)  |  | R-12 (Single Family Residential)  |  | R-65 (Single Family Residential)  |  | M-17 (Multiple Family Residential)  |  |
|  | R-6 -X (Railroad Corridor Combining District)                                       |  | R-15 (Single Family Residential)  |  | R-100 (Single Family Residential)   |  | M-29 (Multiple Family Residential)  |  |
|   |   |  | R-20 (Single Family Residential)  |  | D-1 (Two Family Residential)  |  | F-R (Forestry Recreational)   |  |

1:1,781



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

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# TITUS RESIDENCE

## 23 Setting Sun Place, El Sobrante, CA



**RECEIVED** on 10/13/2021 CDDP21-03032  
By Contra Costa County  
Department of Conservation and Development

### VICINITY MAP



### Sheet List

| Sheet Number | Sheet Name          |
|--------------|---------------------|
| 1-G-001      | TITLE SHEET         |
| 2-A-201      | SITE PLAN           |
| 3-A-202      | GARAGE PLAN         |
| 4-A-204      | ROOF FRAMING PLAN   |
| 5-A-301      | EXTERIOR ELEVATIONS |
| 6-A-302      | EXTERIOR ELEVATIONS |
| 7-A-501      | DETAILS             |

### PROJECT INFORMATION

#### LOT INFORMATION

|                          |                     |
|--------------------------|---------------------|
| ASSESSOR'S PARCEL NUMBER | 430-060-013         |
| CENSUS TRACT             | 3601.00             |
| DISTRICT                 | CONTRA COSTA COUNTY |
| LOT SIZE                 | 1.06 ACRES          |

#### BUILDING INFORMATION

|                            |                 |
|----------------------------|-----------------|
| ORIGINAL CONSTRUCTION DATE | 1981            |
| USE TYPE                   | Attached Garage |
| Sq.Ft.                     | 2,262           |
| STORIES                    | 1               |
| BASEMENT STORIES           | 0               |
| LIVING ARE                 | N/A             |
| GARAGE AREA                | 300 SqFt        |

#### SPECIAL CONDITION

|                                 |     |
|---------------------------------|-----|
| ADA COMPLIANCE                  | N/A |
| REGISTERED HISTORIC LANDMARK    | N/A |
| HISTORIC RESERVATION ZONE       | N/A |
| FIRE HAZARD ZONE CLASSIFICATION | NO  |
| SPECIAL PROBLEM AREA            | NO  |

| No. | Description | Date |
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23 Setting Sun Pl

El Sobrante, CA 94803

TITLE SHEET

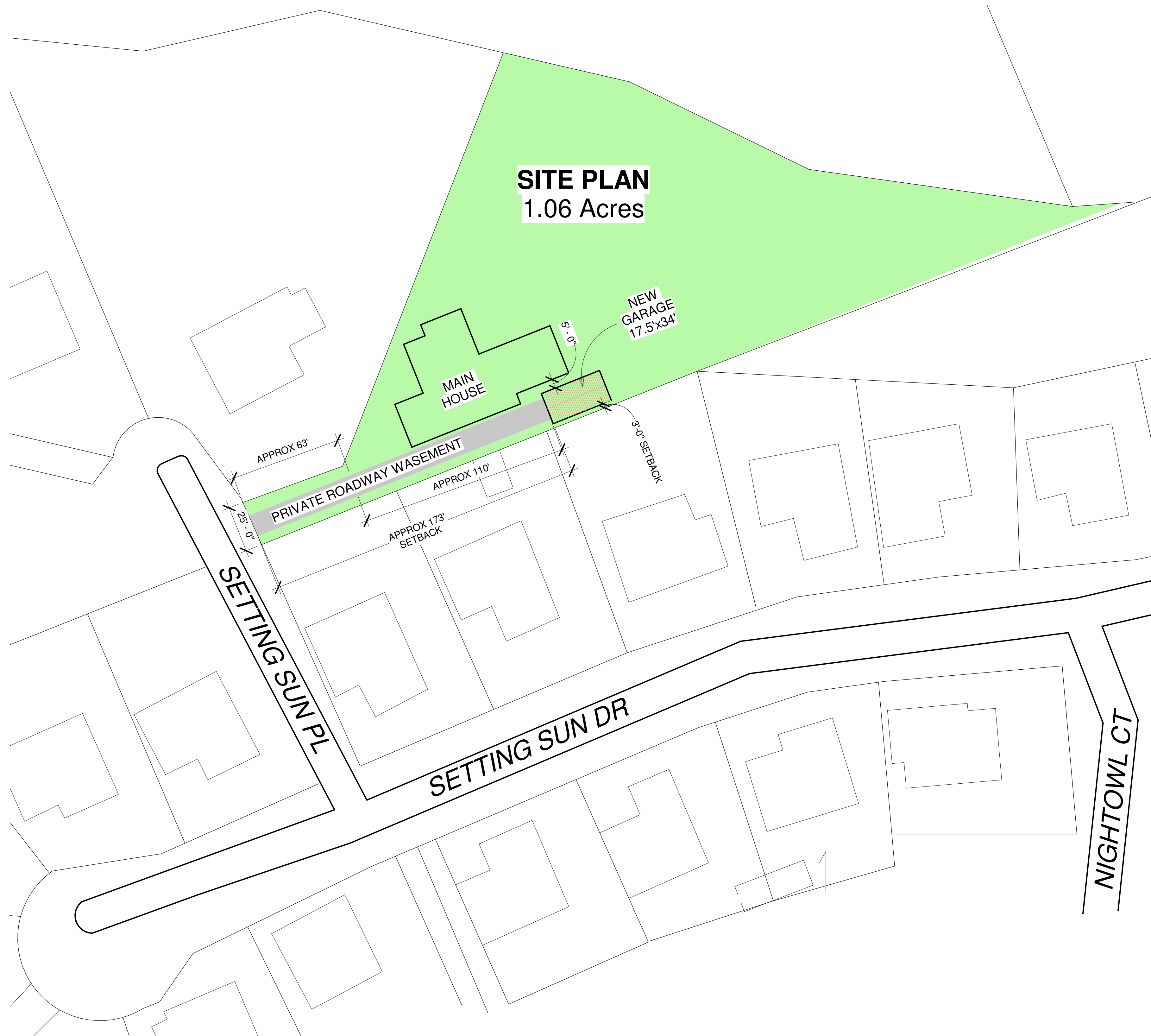
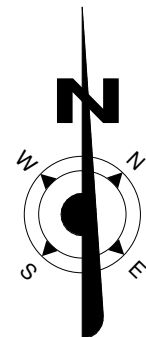
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| Project number | 027-A20    |
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| Checked by     | A C        |

1-G-001

|       |                |
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| Scale | 1 1/2" = 1'-0" |
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① SITE PLAN  
1" = 40'-0"



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23 Setting Sun Pl

El Sobrante, CA 94803

SITE PLAN

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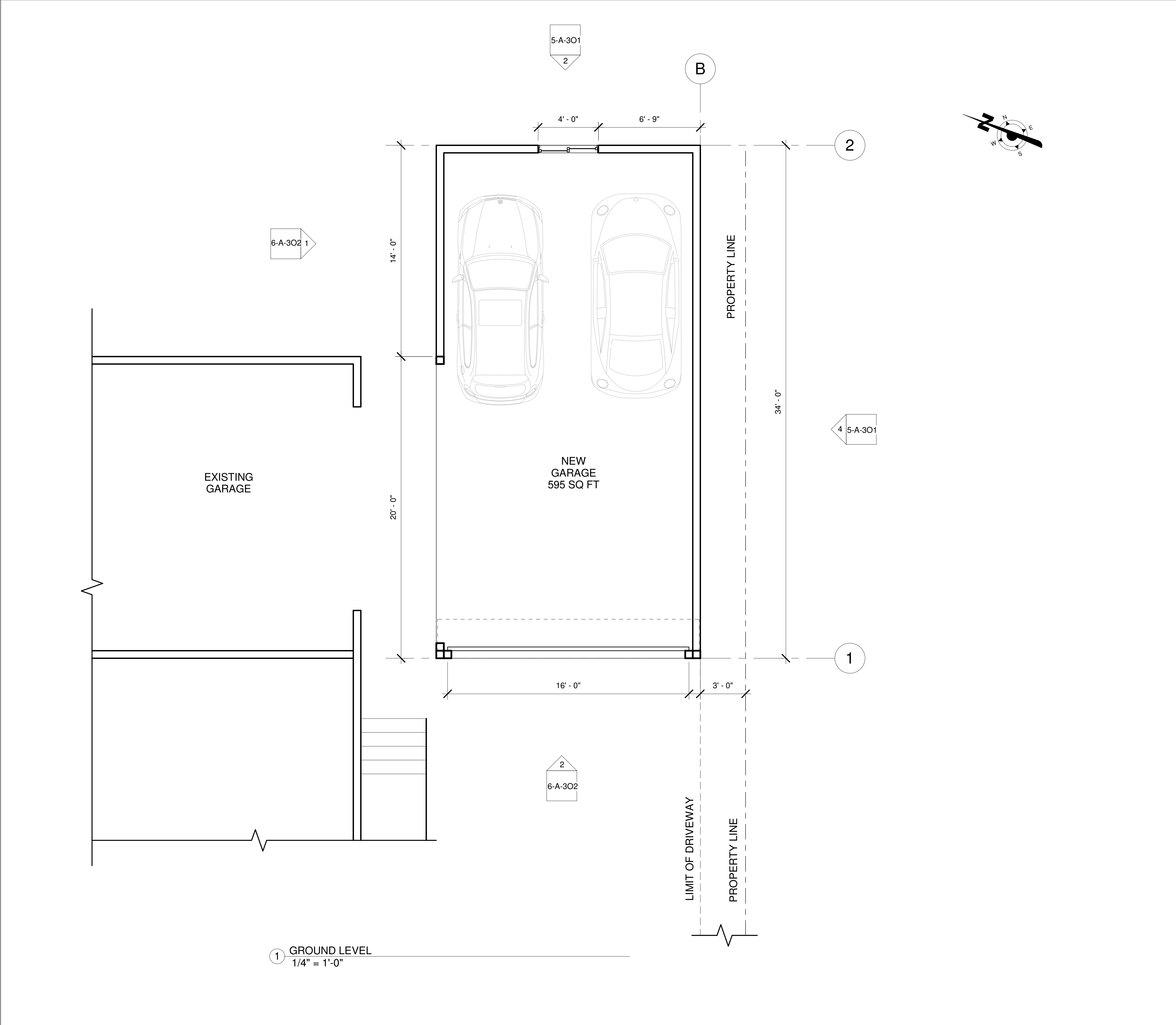
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2-A-201

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23 Setting Sun Pl

El Sobrante, CA 94803

GARAGE PLAN

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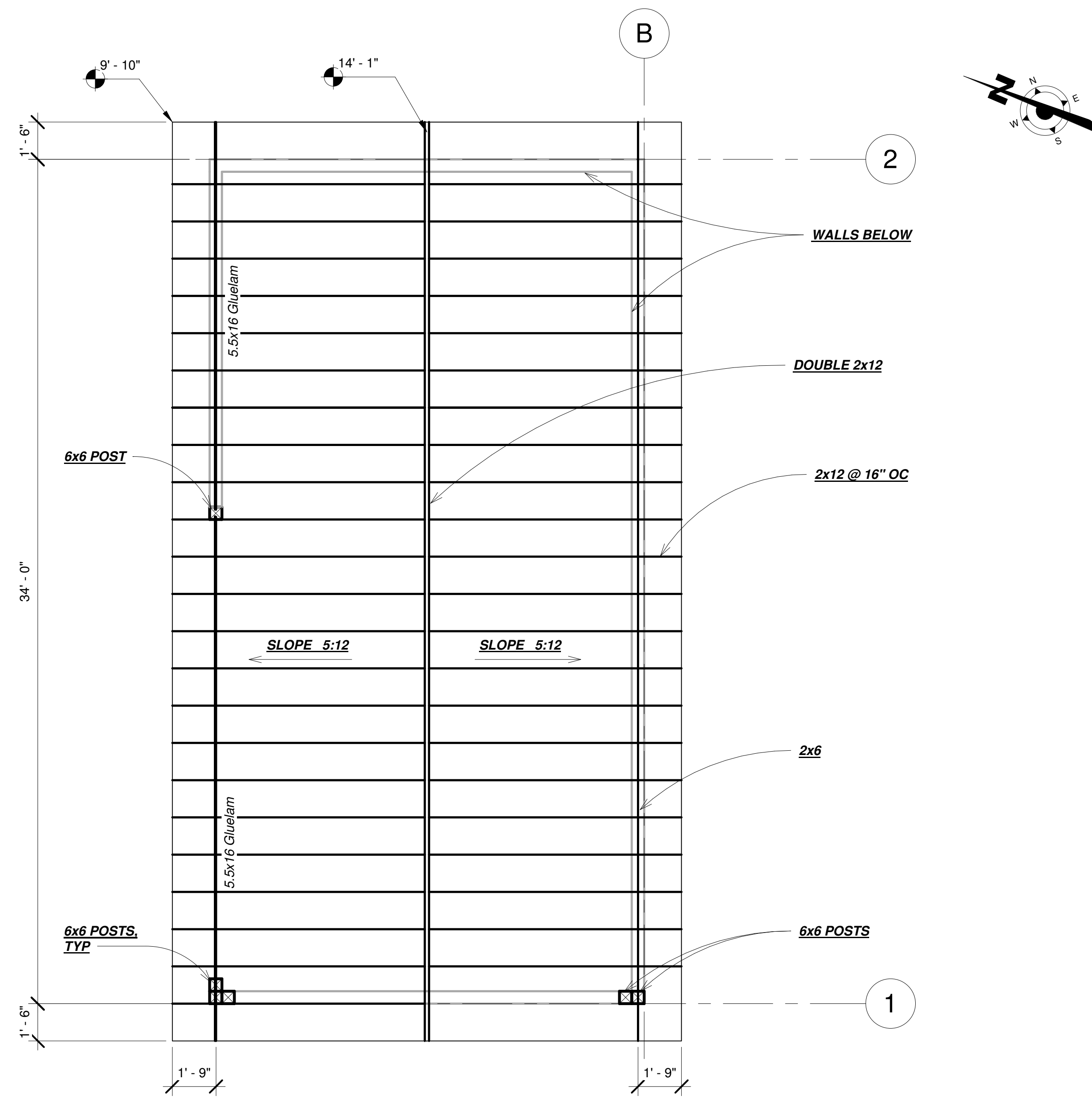
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3-A-202

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1 ROOF FRAMING PLAN  
1/4" = 1'-0"



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23 Setting Sun Pl

El Sobrante, CA 94803

ROOF FRAMING PLAN

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Date12/01/2020

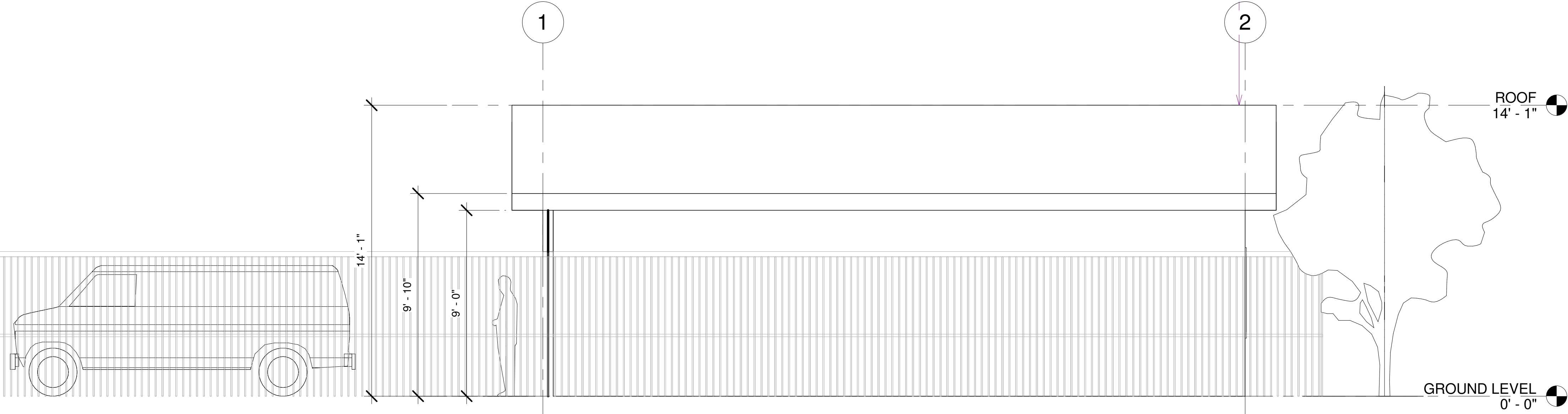
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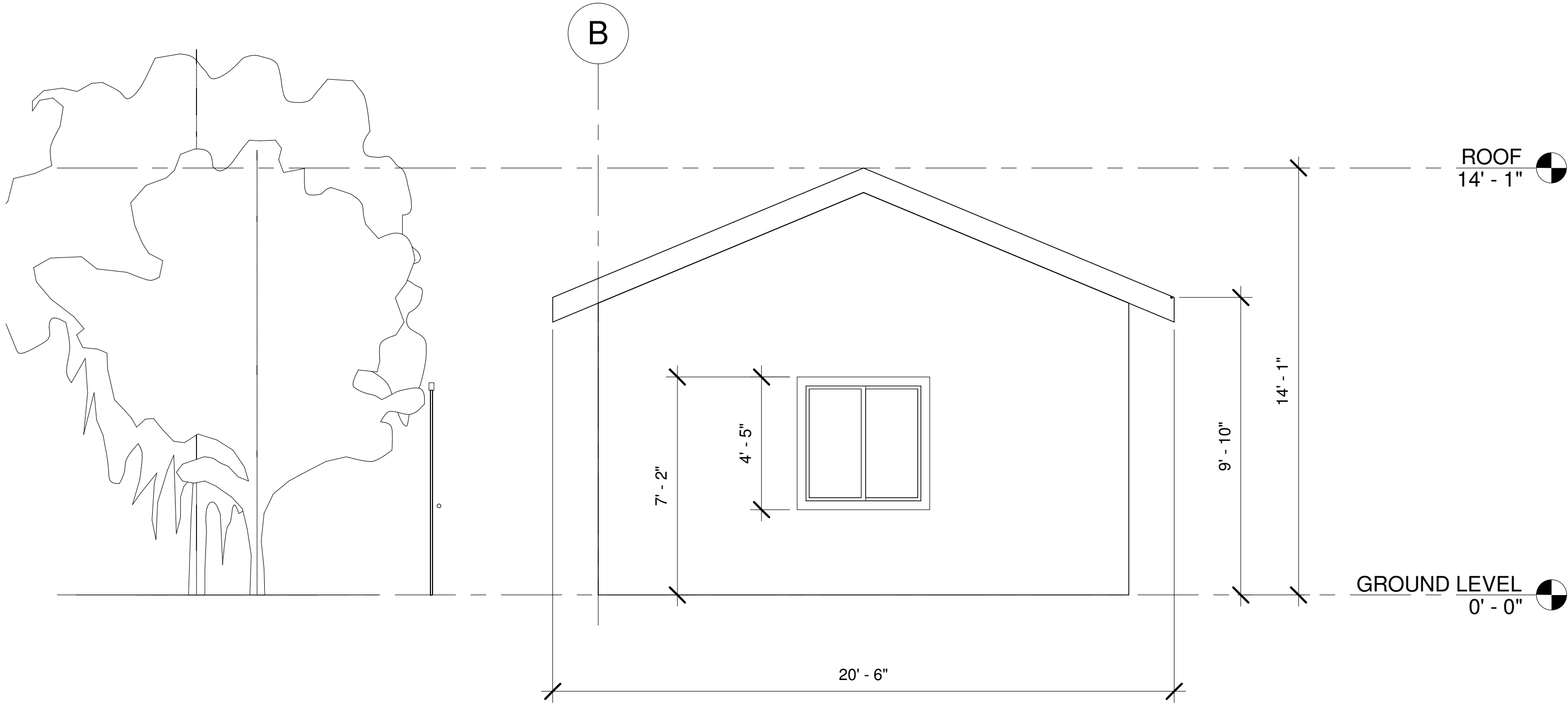
4-A-204

Scale1/4" = 1'-0"





④ SOUTH ELEVATION  
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② EAST ELEVATION  
1/4" = 1'-0"



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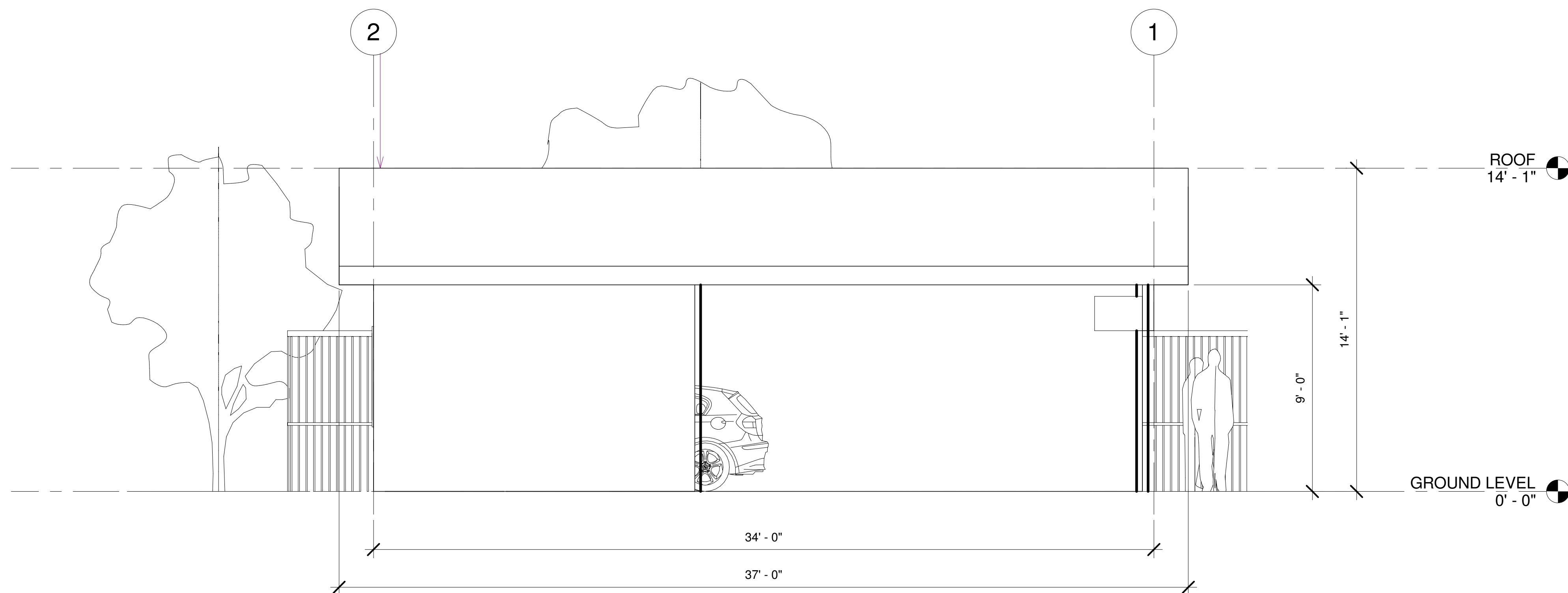
El Sobrante, CA 94803

EXTERIOR  
ELEVATIONS

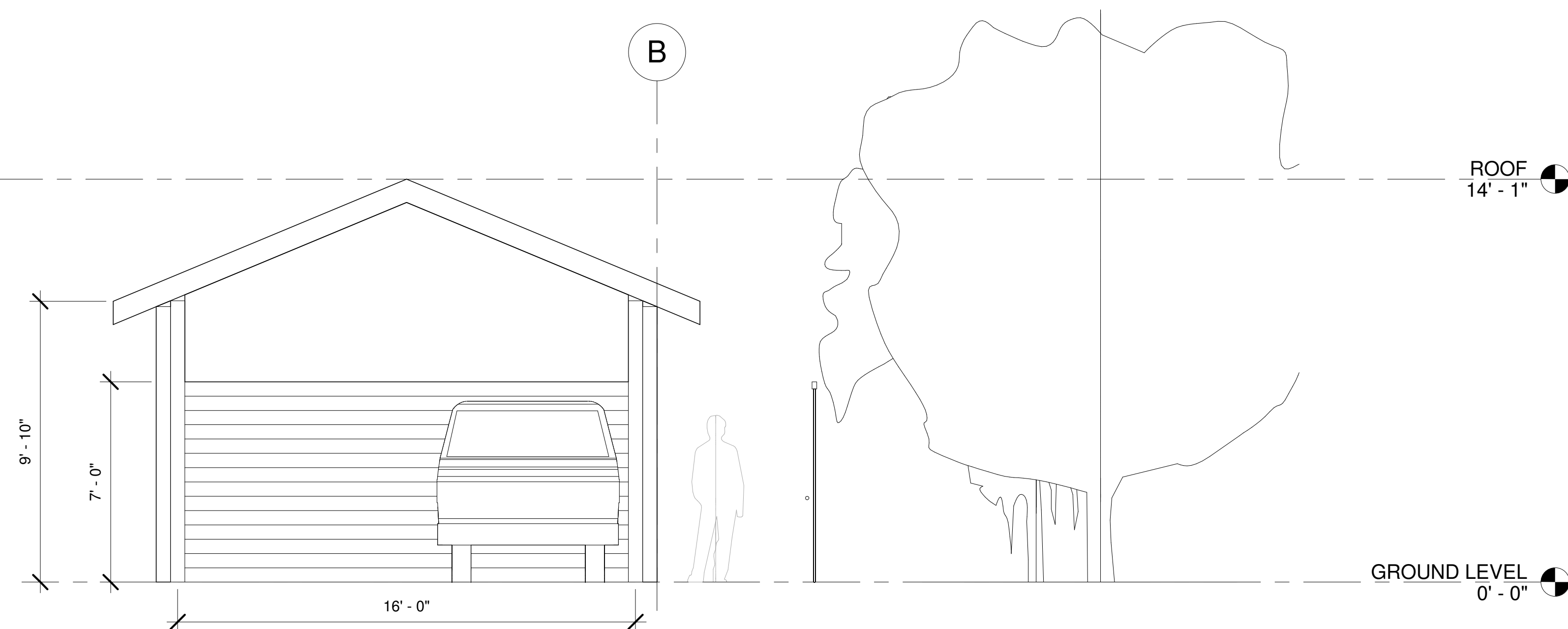
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Date 12/01/2020  
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Checked by AC

5-A-301

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① NORTH ELEVATION  
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② WEST ELEVATION  
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23 Setting Sun PI

El Sobrante, CA 94803

## EXTERIOR ELEVATIONS

Project number 027-A20

Date 12/01/2020

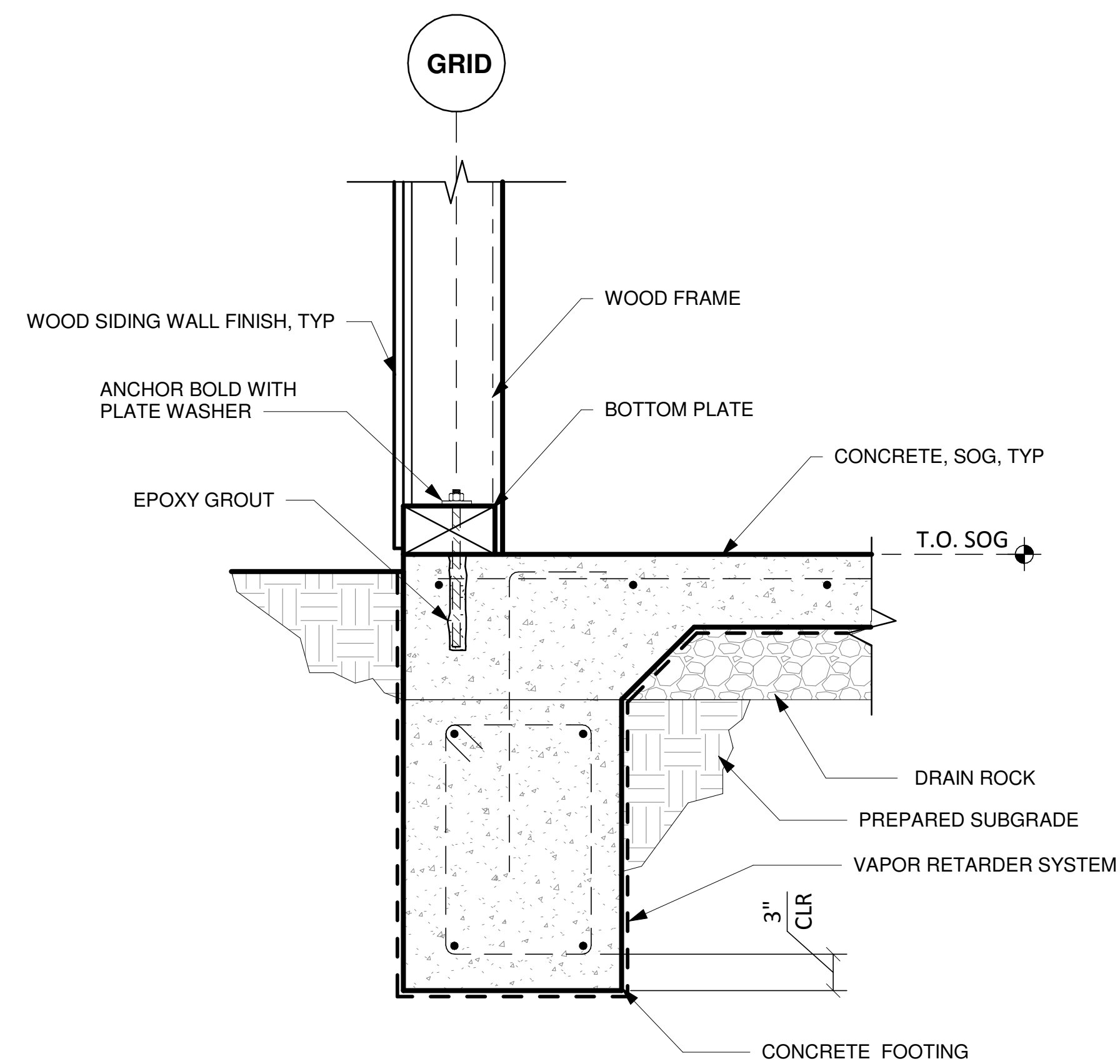
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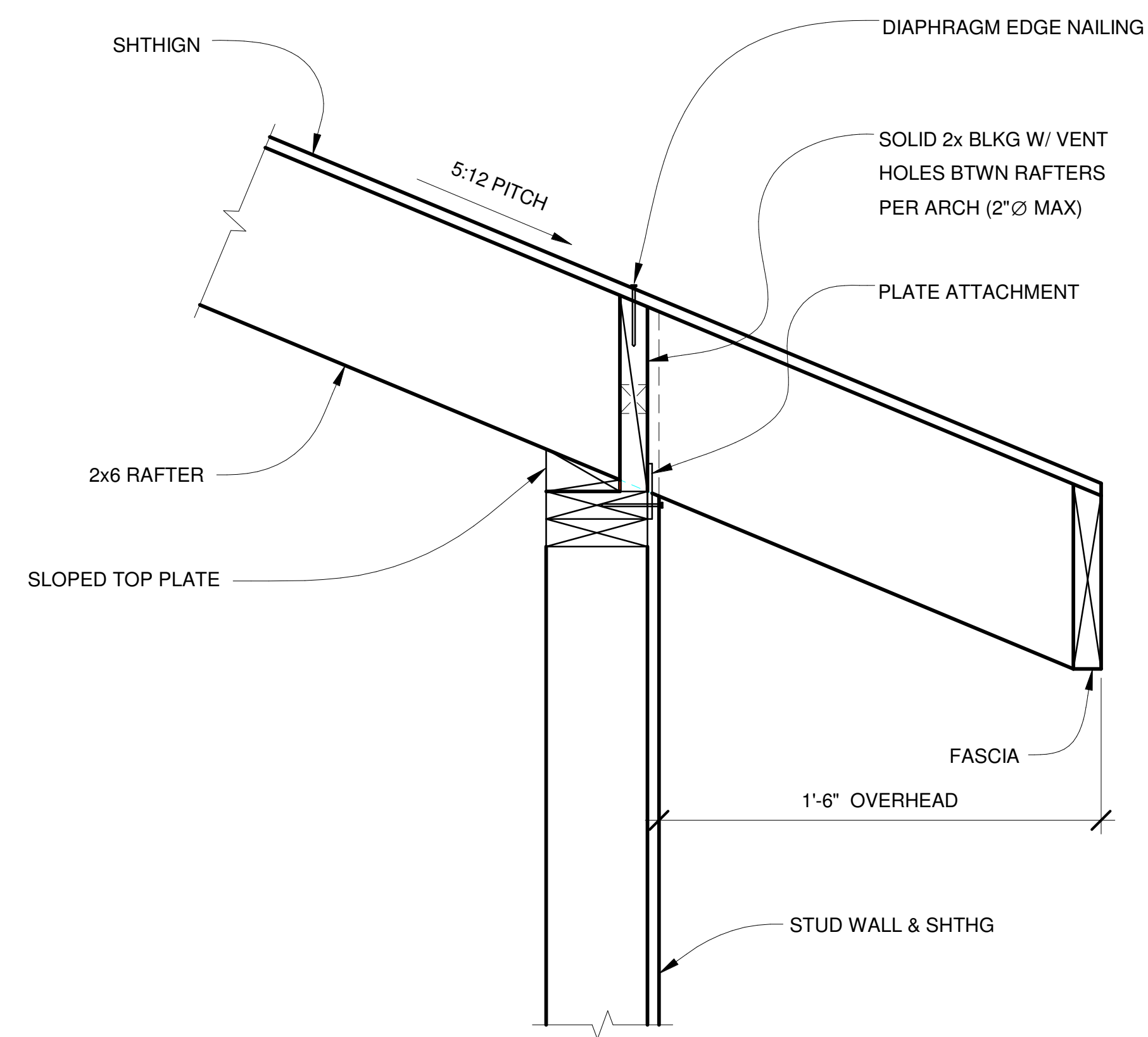
# 6-A-302

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1 ANCHOR BOLT TO EXISTING SLAB  
1" = 1'-0"



2 EXTERIOR WALL TO RAFTER  
CONNECTION  
1 1/2" = 1'-0"

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23 Setting Sun Pl

El Sobrante, CA 94803

DETAILS

Project number 027-A20  
Date 12/01/2020  
Drawn by Author  
Checked by Checker

7-A-501

Scale As indicated